

Facilities Master Plan Update

Board Approved 11/6/13

Board Approved Reprioritization:

1- Driving Pad- BLET, Motorcycle Training, Truck Driving, EVOC

- 244;800-sq-ft;-part-asphalt and part concrete...est \$850,000

1A - Asbestos abatement building 2...\$100,000 (est max if asbestos found)

2 - Building 1 – Renovation/HVAC/Electrical/Plumbing

HVAC/Electrical/Plumbing - \$1,500,000

3 - Building 3– Renovation and Addition- Total cost \$2,025,424

4 - Building 2– Automotive Expansion, Exhaust System, Building 2 Renovations

Expansion of Auto ...\$1,200,000

Building upgrades... \$500,000

5 - Building 5– Renovation Lower Level (bring up to code)

Total Cost \$2,100,000

6 - Building 4 - Renovations – Excludes Addition for Auto

Total cost \$750,000

7 - Building 8 -Additions and Renovations -total cost \$3,523,243

8 - Modernize Bldg. 9 Fume Ventilation System (pull down) Chem/Biology Labs (cost) Updated
Emergency Chemical Wash Showers and Eye Wash Stations

6400 sq ft@ \$15 = \$96,000

9 - Gym - 15,000 sq ft- \$2,250,000

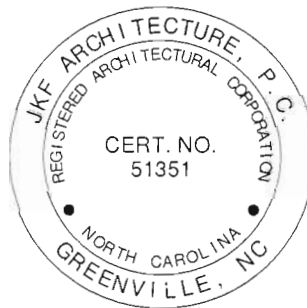
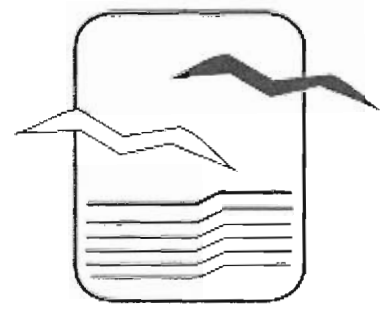
10 - Building 1 or 3– Technology Center for Students

2000 sq ft@ \$45 = \$90,000

MASTER PLAN STUDY FOR

**BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER & FACILITIES PLAN
2006-2016**

Washington, NC



P.O. Box 20662
Greenville, NC 27858
252-355-1068 Phone
252-355-0216 Fax
jkf@jkf-arch.com



January 30, 2006

Dr. David McLawhorn, Ed.D.
President
Beaufort County Community College
P.O. Box 1069
Washington, NC 27889

RE: Beaufort County Community College Master Plan 2006-2016
JKF Project No. 2005-21

Dear Dr. McLawhorn:

Please accept our recommendations concerning the development of your Campus for the next ten years. I believe there is a vision developed by you, your staff, and this office, that will create an academic and "university" like environment to serve the students of Beaufort County.

Sincerely,

A handwritten signature in blue ink, reading 'John K. Farkas'.



John K. Farkas, AIA
President

ARCHITECTURE
PLANNING
DESIGN

P.O. Box 20662
Greenville, NC 27858
Phone: 252-355-1068
Fax: 252-355-0216
jkf@jkf-arch.com (e-mail)
www.jkf-arch.com (Web-site)

PURPOSE OF MASTER PLANNING PHASE

JKF Architecture PC was contracted by Beaufort County Community College in Washington, NC to develop a Master Plan & Feasibility Study for its Campus located on US Highway 264 West. The Master Plan would review the existing facilities and project the building needs over the next 10 years.

PROGRAM PROCESS

JKF ARCHITECTURE facilitated the following process to determine the Master Plan and facilities needs for the Campus for 2006-2016:

Master Planning Process

Facilitate Workshop Meetings with Community College staff and administration:

- Identified current and future campus-wide facility needs including identifying current use of space and program space allocation.
- Conducted a working design session reviewing with attendees available design options, current use of space and campus utilization.
- Coordinated information received and during the Workshop Meeting and develop design solution(s) that responded to stated needs. Single or multiple options were explored and presented.
- Coordinate conceptual design with storm water management issues and requirements and developed possible storm water management designs that respond to future development issues.
- Present this Master Plan to the Owner's representatives for final review and comment.
- Upon receipt of comments, finalized the Master Plan to include the following:

Facilities Maintenance Plan:

Met with Community College maintenance staff and administration to:

- Identify current and future campus-wide maintenance needs and systems replacements including roofing, hardware, finish materials (i.e. ceilings, flooring, etc.), building repairs, moisture issues, *HVAC, *plumbing, and *electrical (*General review only based on staff interviews.
- Develop budgets and timeline for necessary current and future campus maintenance improvements.

GENERAL ASSESSMENT OF THE CAMPUS AND PROGRAMS

Beaufort County Community College, herein BCCC, is currently located on 113.4 acres of land on the north side of US Highway 264, east of Washington, North Carolina. This includes a recent acquisition of 31.6 acres that is located on the north side of the Campus. This additional land is largely wooded, predominantly swamp and wetlands. Its main purpose is to provide a barrier to any future development to the north, and for potential natural areas to be used for educational purposes.

The College also owns a non-contiguous 14.29 acre parcel of land to the east of the primary Campus. This parcel is currently not being utilized by the Col-



lege. The main Campus has nine structures that are of a traditional construction, and 3 buildings that are pre-engineered buildings. The existing buildings consist of approximately 224,000 gross square feet of space. An outdoor firing range for law enforcement training is located in the northeast corner of the Campus.

The College offers numerous educational programs including Allied Health and Nursing, Basic Law Enforcement Training, Early Childhood Development, Human Services, General Studies, Vocational Studies, Business, and Computer Technologies.

The Campus has student facilities including Learning Resource Center, Student Bookstore, student canteen and dining, and student lounge.

BCCC had a full-time enrollment (FTE) of 1573 students for the Fall 2005. The average FTE's for the last nine years has been 1532 students per BCCC enrollment records. The data would suggest a 25% growth from the Fall of 1997 to the Fall of 2005.

GROWTH TRENDS

July 27, 2005 was the primary meeting with administrative and academic leaders on Campus. The work sessions noted the following:

Curriculum Programs & Trends. Comments from attendees:

- Not significant Curriculum Growth projected in this area. Things have flattened out.
- Partnerships with High Schools are becoming important.
- Restructuring of Programs to meet current needs.
- Skill Development (retraining the workforce, continuing education) may have peaked.
- Distance Education is still very important and growing.
- Seeing smaller layoffs.
- Partnerships w/ECU (On Campus) has grown. Overflow from PCC.
- Allied Health continues to be successful. Medical Office Administration requests have increased.
- Continuing Education. Seeing a lot of incoming students who were laid off.
- Vocational programs increases due to layoffs including Automotive, Welding, Electronics.
- College Transfer is a growing role for Community Colleges (numbers projected are flat).
- Early Childhood training continues to be important. Space needs will be met with Building #11.
- Human Services space needs will be met by Building #11.
- Cosmetology (moving creates space for Business & Electronics)
- Business programs continue to thrive. Workforce retraining.
- BLET/Public Safety opportunities continue to expand.
- Nursing & Allied Health Program. Constraints and limitations of existing Building have been problem. May be remedied in the short term by renovation of Building #3. Finding qualified faculty. Access to Clinical Sites.



- Continuing Education opportunities seen in providing the following, but limited by space and faculty Nurse's Aid, Pharmacy, Physical Therapy, Radiology, Occupational Therapy, Medical Assistants, Speech Therapy, Surgical Technician, Dental Hygienist/Technician, Dental Lab. A Medical Lab Program already is already in place but is cyclical (In #9 Physics Lab).
- ***A discussion ensued in which a unanimous opinion centered on a new building for Allied Health being a high priority.***

Continuing Education Program:

- Additional classroom and office space is needed.
- Traffic issues for Continuing Education registration within Building #8.
- Small Business Center is a key to College's interaction with Business Community. Need a meeting room for 15-20 People (high priority).
- Auditorium Upgrade including new seats, lights, sound, etc.
- Kitchen Area too small. Needs to be better equipped for culinary classes. Kiln areas are problematic. Should be relocated to dedicated area or space modified to suit.
- Increase in Gardening / Landscaping among retirees.
- Motorcycle Training Program (High Request).

Public Safety Program:

- FATS Room should be its own room in Building #10.
- Burn Tower / Building.
- Driving Pad for training law enforcement, fire, rescue, EMS, truckers, motorcycle, .
- Straight-away needed for high speed training/ braking.

Vocations Programs:

- Historic Restoration/Preservation is a continued area of interest (Continuing Education).
- Automotive shop is short of space. Consider relocating to Buildings #4 & #7 and expand. Consensus was that was a good idea.

General Needs

- General Purpose Classrooms.
- Faculty Offices.
- Flexibility.
- Laboratory Spaces for plumbing, electronics, and other vocations.
- Expansion of Distance Learning.
- Auto-shop is undersized (18 students in a 12 person space).
- Physical Education for P.E. Classes and Life-style issues (Wellness programs).
- More connectivity between buildings. Readability.
- Provide group study rooms.
- Safety & Liability is a concern. Campus used by walkers and runners after class hours. Lighting and safety is a concern.
- Parking availability and location. Easy pedestrian movement and access to buildings.



GENERAL ASSESSMENT OF THE EXISTING CAMPUS FACILITIES

Many of the existing buildings, predate 1970, especially the core Buildings 1 through 3. Building #4 was constructed in the 1970's, Building #5 in the 1980's, and Building #8 in the early 1990's.

Building #1 has undergone numerous "spot" renovations over the years that have impacted the use of the building. Many of these alterations have stretched the capacity of the buildings HVAC and electrical systems. Wear and tear is evident on many of the building systems. A more defined use for this building and comprehensive renovation would be appropriate. The trend should be to make this building an administrative building and eliminate classroom functions. The second floor houses the Cashier's Office meaning that this floor is subject to high volumes of students during peak registration functions. This office should be relocated to the first floor towards Building #9 and minimize student traffic in the building.

Building #2 has also undergone renovations and a significant building addition in the early 1990's. It is currently undergoing a renovation due to the Cosmetology Program moving to Building #11. Renovations are comprehensive only in strategic areas due to budget constraints. The Building is utilized for Auto Mechanics, Electronics, and Business. The first two functions are in spaces inadequate for their program, are of a higher hazard then the Business Program, and functionally have different needs then the Business Program. The Automotive Program also requires a yard for vehicles and storage.

Building #3 is currently undergoing a renovation of existing spaces vacated by the Early Childhood Development and Human Services Programs. This renovation, due to budget constraints, does not address comprehensive issues related to the age of the building systems. Many of these alterations have stretched the capacity of the buildings HVAC and electrical systems. Wear and tear is evident on many of the building systems. Traditionally used for Allied Health Programs, this building will not be able to meet that programs long-term needs. A more appropriate use would be general purpose classrooms not requiring specialized spaces.

Building #4 is primarily used for the vocational trades including drafting, welding, machine-shop functions, etc. Many alterations have stretched the capacity of the building's HVAC and electrical systems. Wear and tear is evident on many of the building's systems and finishes. This building should be expanded in order to move vocational trades such as auto shop and electronics, located in Building #2, into this building. This would consolidate similar functions that require specialized lab space and outdoor support space. It should further be considered that a screen wall be constructed to shield the yard functions from general view. This was part of the 2000 Master Plan but never developed.

Building #5 is a 2-story building. It is unique in its connection to pedestrian foot bridges at multiple levels. The upper floor contains the Learning Resource Center (LRC). The LRC was expanded in 1999 along with the Student Bookstore that was relocated from the lower floor. The upper floor also contains a kitchen and dining area. The College is currently under contract to an outside vendor for food service. The kitchen is small and has undergone numerous changes over the years that have stretched the HVAC, plumbing and electrical systems in this area. A major renovation of this area would be in order.

The lower level was originally constructed as vacant space. The College performed their own interior upfit in order to utilize the space. This upfit was done in-house. There are life-safety and construction issues with this area. The existing construction should be completely demolished and renovated. The space should be used for Student Services and Student Development given its proximity on Campus to Building #9, Student Services. A more open and flexible plan should be developed. This would also afford additional computer and study rooms for the LRC above. Building systems including plumbing, HVAC, and electrical would require replacement. There are administrative functions in the lower floor that should be moved out to Building #1 including Campus publications.

Building #6 is a pre-engineered metal building currently utilized by facility management and maintenance. This building is adequate, and has been highly utilized for storage during periods of other building renovation and construction. This is a highly functional and versatile building.

Building #6A is a pre-engineered metal building that is over 30 years old. This building, located west of Building #9 has become a "catch all" for transitional space and storage needs. It has undergone numerous renovations and alterations, is of a construction that is poor and may have exceeded its useful life span. It is recommended that this structure be phase out and functions moved to the New Applied Technologies Building.

Building #7 is a pre-engineered metal building currently used for the Agricultural Program. This flexible space can serve the vocational trades in adjacent Building #4. The building was completed in 2002.

Building #8 was completed in the early 1990's and houses the Continuing Education Program. It is generally in very good shape requiring a modernization of the auditorium. Part of the building would become available for expansion if the Allied Health Building is constructed. The Small Business Center is inadequate. The Kitchen facilities along the north side of the building are inadequate.

Building #9, constructed in 1993-94, houses Student Services, Student Development, Science Labs, a student lounge, lecture rooms, and faculty offices. Highly utilized since its completion, this building connects Buildings 1 and 5 via covered walkways. Using the north end of Building #1 for the Cashier's Office would be a logical extension of the services provided in this building.

Building #10 is the Basic Law Enforcement Training Center completed in 2003. This building is adequate except for the Fire Arms Training Simulator. This simulator takes up a large classroom in lieu of a smaller room as originally planned. Modifications consistent with the original building plans would net one general purpose classroom and confine the F.A.T.S. to a more appropriately sized room.

Building #11 has just been completed and will house Cosmetology, Early Childhood Development, and Human Services.

GENERAL ASSESSMENT OF THE EXISTING CAMPUS

The development of the Campus closely followed the 1995 and 2000 Master Plan. Parking lots were enhanced and pedestrian connections were created between buildings, while landscaping around new buildings was enhanced.

While the existing Campus can support two additional buildings on the east



side, the priority for expansion of Public Safety facilities cannot be met without acquisition of the adjacent property. The eastern most parcel owned by the College is not adequate enough to accommodate the proposed Public Safety Facility and associated facilities. The adjacent land to the east would be required to make this plan successful.

With a possible expansion to the east, pedestrian access from west to east would be critical. The proposed Master Plan would develop and enhance the existing walkway system in this regard with lighting, landscaping, signage and communication amenities. The two proposed buildings for Allied Health and Applied Technologies would serve as a termination for this pedestrian way to the east. The existing Continuing Education Building with expansions. The Public Safety Complex would occupy the eastern most extremities of the Campus.

Stormwater management and water quality preservation would be a major feature associated with the Public Safety Training course. We would propose a more environmentally friendly and sustainable design in the creation of wetlands to treat storm run-off with a combination of traditional stormwater detention facilities.

Another aspect noted by the College during the October 18, 2005 review meeting was concerns about the Campus entrance to the west. Safety concerns relative to the proximity of parking lots to this access and facilitation of traffic in and out a peak time necessitated consideration of a possible solution. The Master Plan reflects a relocation of the main entrance/exit to the center of the Campus away from parking lots, and allowing adequate space to facilitate the stacking affect of cars during peak times. This would involve NCDOT approval, but would increase safety of drivers coming to and leaving the Campus. The eastern most entrance would be enhanced to facilitate deliveries to the Campus, but should not be eliminated.

MASTER PLAN SUMMARY

The proposed development of the Campus over the next 10 years may be characterized as a combination of additional buildings needed to meet existing and emerging programmatic needs, expansion of the Campus to the east to meet Public Safety needs of the region, better and more effective use and modernization of existing buildings, and enhancements and improvements to both pedestrian and vehicular systems.

The Master Plan has evolved in nine definable phases of development over the next 10 years. Significant detail of each phase is projected on the following pages, but may be summarized as follows:

1. New Allied Health Building #12, Campus Site Lighting Improvements, and New Entrance
2. New Public Safety Facility
 - Driving Range, Wetlands & Stormwater Management
 - New Burn Tower
3. Building #3 Renovations
4. Building #1 Renovations
5. Building #5 Renovations
6. Building #8 Additions & Renovations
7. New Applied Technologies Building #13



8. Building #4 Additions & Renovations

9. Building #2 Additions & Renovations

AGENCY APPROVALS

The projects anticipated to complete the Master Plan will require approval from numerous approving agencies including:

- The NC Office of State Construction
- The NC Office of the State Fire Marshall– Department of Insurance
- NC Department of Environmental and Natural Resource– Water Quality Division
- NC Department of Environmental and Natural Resource– Soil Erosion Control

The Owner should consult with their property insurer to determine any special requirements and availability of coverage within the project area.

PROJECTED COST

A cost breakdown has been provided on a "Phased" basis assuming the project will be built over time and not all at once. Inflationary costs have been included assuming a general timeline for the project.

EXECUTIVE SUMMARY

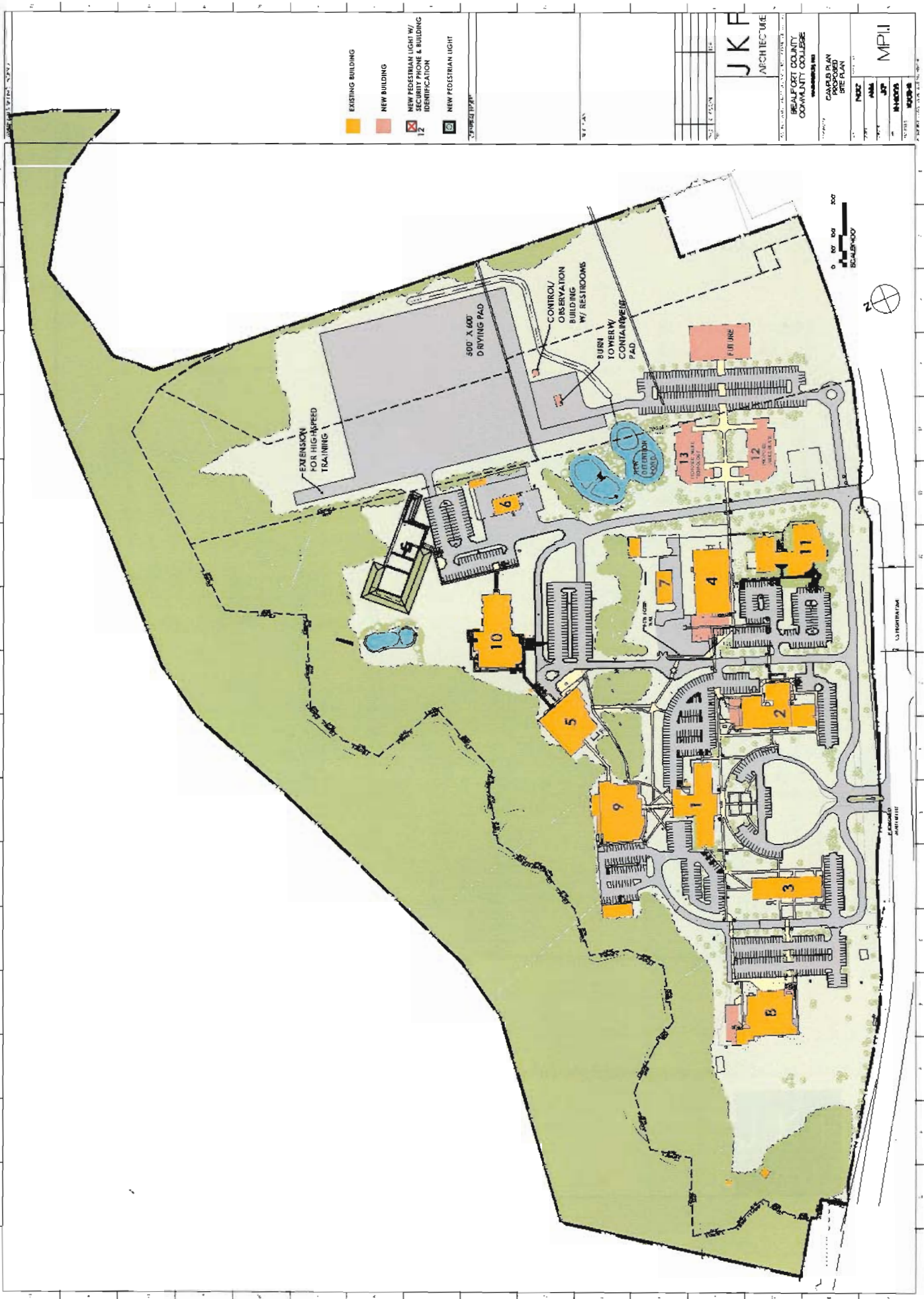
In order to meet the demands placed on the College over the next 10 years, two new buildings focusing on the two largest growth areas for the College, Allied Health and Applied Science, will be required.

Three existing buildings, #8, #4, and #2, will require significant additions for Continuing Education, Vocational Development, and Business, respectively.

Buildings #1, #3, and #5 will all require significant modernization, renovations, and alterations, in order to meet programmatic and functional needs, in addition to more efficient energy usage, maintenance, and life-safety needs .

The projected cost of this development over the next 10 years is \$28,970,439. The new square footage added to the Campus would be approximately 82,000 gross square feet.

END OF PROGRAM

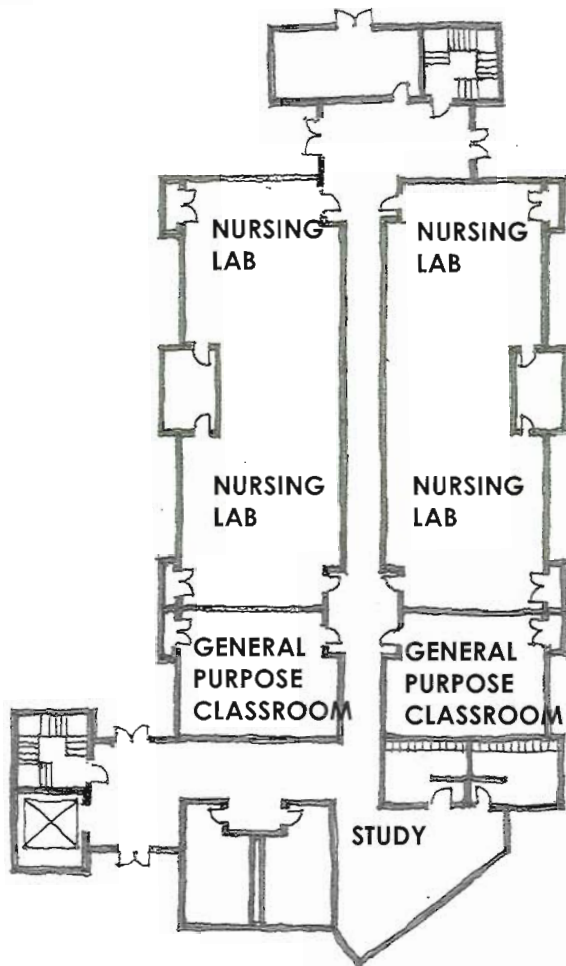


- EXISTING BUILDING
- NEW BUILDING
- NEW PEDESTRIAN LIGHT W/ SECURITY PHONE & BUILDING IDENTIFICATION
- NEW PEDESTRIAN LIGHT

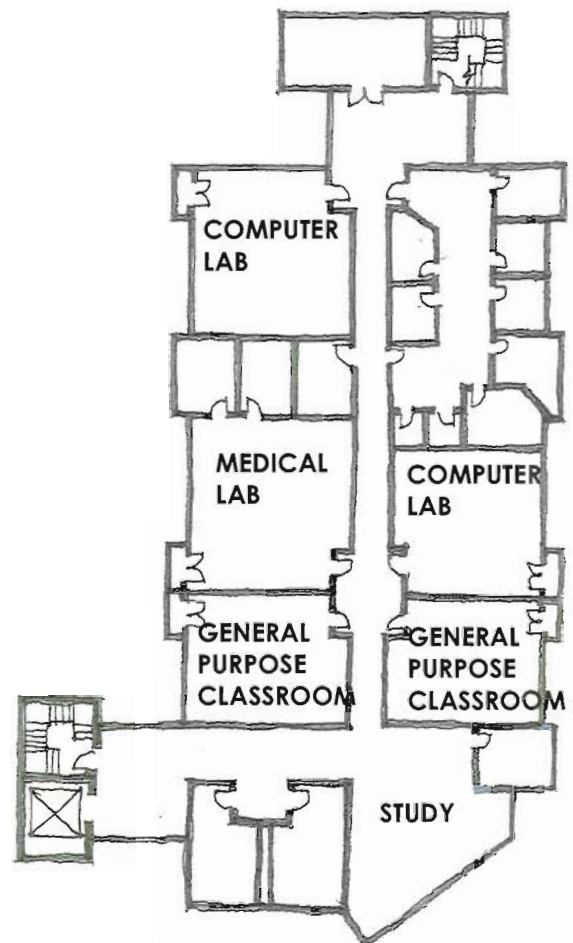
JKF
ARCHITECTURE

SEAL FORT COUNTY
COMMUNITY COLLEGE

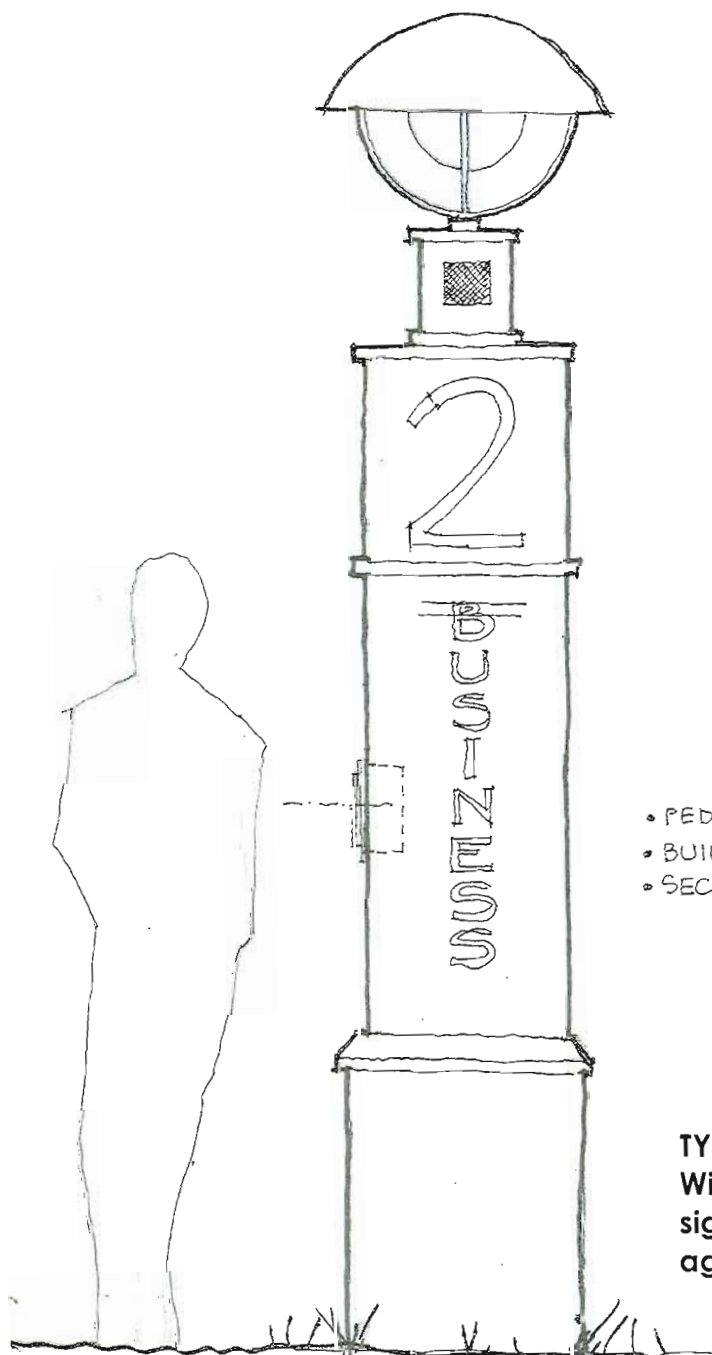
CARLOS PLAN
SITE PLAN
MP11



FIRST FLOOR PLAN

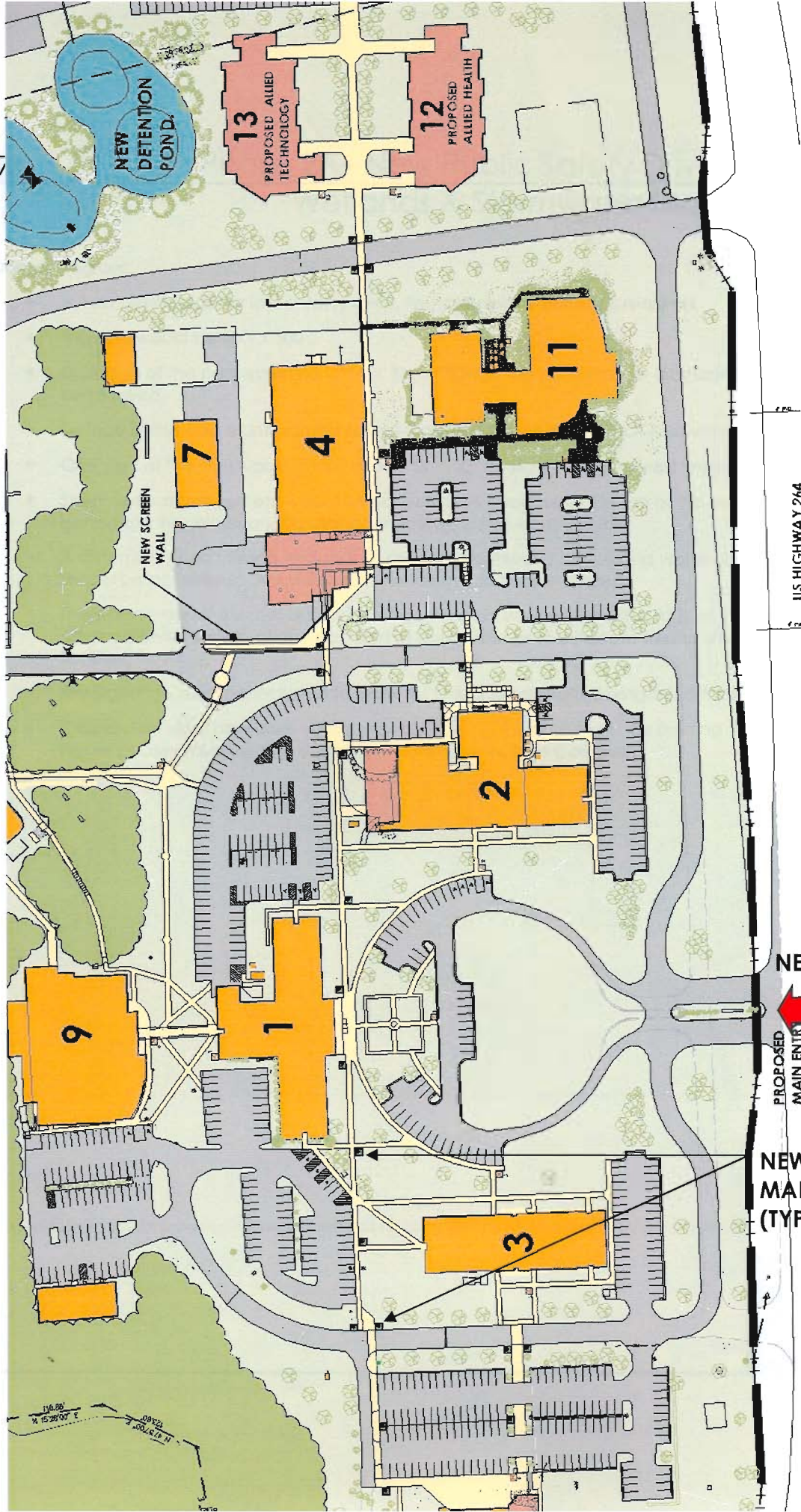


SECOND FLOOR PLAN



- PEDESTRIAN LIGHTING
- BUILDING RECOGNITION
- SECURITY "BLUE-LIGHT"

TYPICAL LIGHT MARQUEE
With "Blue-light", Directional
signage, and Building Sign-
age.



I-15 HIGHWAY 264

NEW ENTRANCE



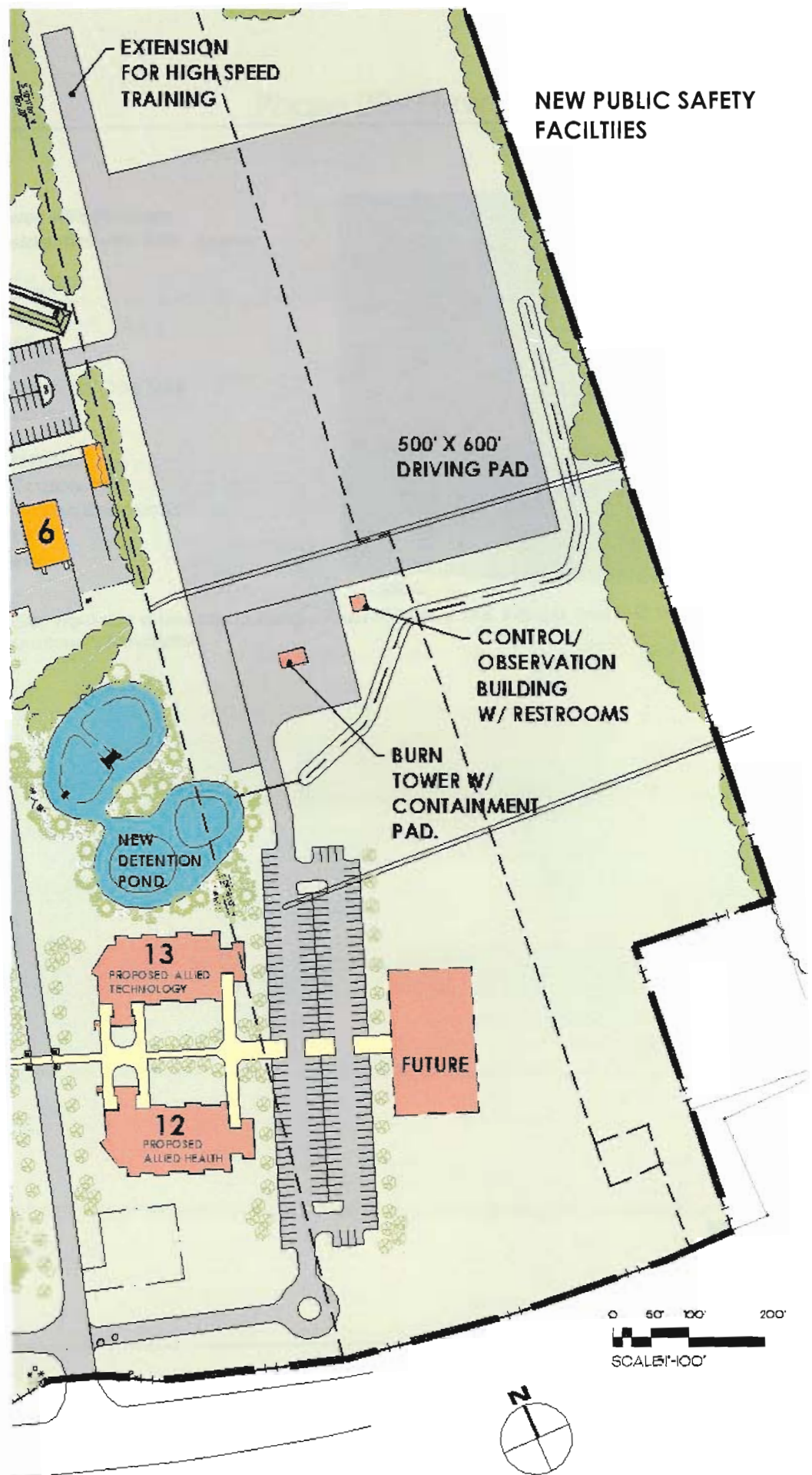
PROPOSED
MAIN ENTRY

NEW SIGN
MARQUEES
(TYPICAL)

Phase 2A– New Public Safety Driving Range, Wetlands & Stormwater Management

Design Program:

- A new driving pad for law enforcement, fire, and rescue training is required.
- The pad would be 600' x 500'.
- Drainage of the pad would be critical. Sheet flow to the perimeter or drainage system would be required.
- Surface of the pad is anticipated to be I-2 asphalt installed to NCDOT roadway specifications.
- One part of the pad would be extended to 1000' to allow for high-speed breaking and pursuit.
- Stormwater management would be considerable because of the size of the pad and disturbance of land. Water quality management would be considerable.
- A detention pond utilizing wetlands to mitigate stormwater run-off and water quality issues should be considered. A sustainable solution should be considered.
- The stormwater and water quality management system designed should take into account other potential growth on the east end of campus so as to eliminate smaller detention/retention facilities.
- Site Lighting should be included to allow for simulation of night driving conditions.
- Connection via a new drive will be provided during this phase into the Building #10 parking lot. Future phases will provide a connection to the front of the Campus.



Phase 2B– New Public Safety Facility New Burn Tower

5 Story Tower with Platform 2 Story Residential with Attic Annex

Brick Facade
2 Burn Rooms
Burn Corner
Elevator Shaft
5th Floor Open on One Side
Caged Ladder
Rappelling
Bilco Roof Hatch
Confined Space
Gabled Roof on Residential
Exterior Stair
Brick Veneer



This facility would be a versatile building utilized for Police, Fire, Rescue, and EMS training. Multiple configurations are available.

Building # 3:

Roof:

- Needs to be replaced. PVC retrofit system over existing built-up roof is in excess of 15 years old. This type of roof is subject to sudden failures caused by extreme changes in temperatures. Insulation value should be increased.

Exterior:

- Existing soffit panels are believed to be asbestos type material. Panels will require maintenance and should be replaced.
- New windows and exterior doors should be provided for energy efficiency.
- Consideration should be given to furring, insulating, and adding painted gypsum board interior to exterior walls for energy efficiency, air, and moisture control.

HVAC / Electrical:

- Original HVAC equipment should be replaced including main electrical panels.
- Existing Mechanical / Electrical room is adequate and should allow for AHU and electrical panel replacements.

Accessibility Issues:

- Doors retrofitted with lever handles in 2005 renovation (as a temporary measure).

Interior Items:

- Many spaces cosmetically upgraded with the 2005 renovation
- Standard up-keep and maintenance to walls, bases, carpets, painting, etc.

Doors, Windows, & Hardware:

- Original doors and hardware in most areas should be replaced, except where renovated.
- Refinish doors as required.
- Original building interior doors and hardware should be replaced due to extreme use, age, and keying issues.
- Windows are existing single-pane glass and should be replaced.

Functionality/ Programmatic Changes:

- After 2005 renovation, Building #3 will be used for Allied Health/Nursing. Due to programmatic growth, this Building will not meet the needs of the program without expansion.
- Due to the age of the building and the special needs of the Allied Health program, Building #3 would be better utilized as a General Purpose Classroom. Allied Health would be better served in a dedicated building designed for Allied Health requirements.
- A more substantial renovation of Building #3 should be planned including major system replacements, life-safety upgrades, and general building improvements.

LEGEND

- COMPUTER LAB
- MECH. / SUPPORT
- INFRASTRUCTURE
- GEN. PURPOSE CLASSROOMS
- SPECIAL PURPOSE CLASSROOMS / SPACES
- FACULTY OFFICES & SUPPORT
- ADMINISTRATION
- ACTIVITIES
- RESTROOMS
- ADMINISTRATIVE
- STUDENT SUPPORT SERVICES

JKF

AKC-50 JFC

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
2014-2020

BUILDING FLOOR PLANS

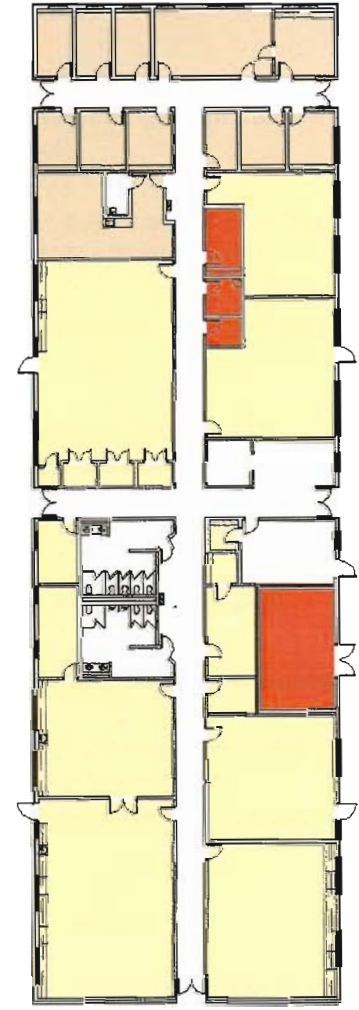
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BUILDING #3
CURRENT USE
FLOOR PLAN
2014-2020



BUILDING #3
PROPOSED USE
FLOOR PLAN
2014-2020



Building # 1:**Roof:**

- High Roof: No existing warranties. White EPDM roof should be replaced in 2008. Repairs are required on an increasing basis.
- Low Roof: Replaced with new black EPDM Fall 2000 (10 year Warranty).

Exterior:

- Existing soffit panels are believed to be asbestos type material. Panels will require maintenance and should be replaced.
- New windows and exterior doors should be provided for energy efficiency.
- Consideration should be given to furring, insulating, and adding painted gypsum board interior to exterior walls for energy efficiency, air, and moisture control.

HVAC / Electrical:

- Federal Pacific panels in Mechanical Room. Should be replaced. Replacement of wiring in the building may be necessary. Light fixtures throughout are energy efficient fixtures.
- Original AHU (Carrier) and outdoor Chillers should be replaced.
- Minimal clear floor space and working areas within existing Mechanical Room. More space should be provided for Mechanical/Electrical infrastructure.

Accessibility Issues:

- Lobby Electric Water Cooler (adapted w/ cup dispenser). Problem w/ unit wetting the walls. Consider removing and installing new accessible unit near restrooms if expanded.
- Toilet rooms are not accessible to Persons with Disabilities. Enlarge room for additional clearances.

Interior Items:

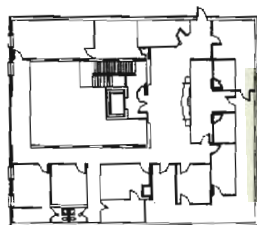
- Standard up-keep and maintenance to walls, bases, carpets, painting, etc required.

Doors, Windows, & Hardware:

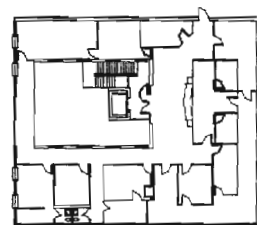
- Many doors and hollow metal frames on the First Floor are damaged. The frames require cosmetic work (i.e. fill, prep, and paint).
- Current door knobs have been adapted with inexpensive lever attachments (intended as a short term solution). Locksets have been subject to long-term, high intensity use.
- A comprehensive replacement of existing wood doors and accessible mortise hardware is recommended.

Functionality/ Programmatic Changes:

- Building #1 currently houses Administration, Business, Student Development, Faculty Offices, Campus Technologies, and General Purpose Classrooms.
- Recommendation is to relocate the General Purpose Classroom out of the Building to allow existing function to expand. Additionally, Administration, Student Development, and Faculty Offices may be relocated to Building #1 to provide a more coherent and fine-tuned use of the Building.
- Student intense functions such as Cashier's Office should be relocated to 1st floor in order to alleviate student traffic through building, and have this function more convenient to Building #9.



BUILDING III
PROPOSED USE
FLOOR PLAN
10-7-79



BUILDING III
PROPOSED USE
FLOOR PLAN
10-7-79

LEGEND

- COMPUTER LAB
- MECH. / SUPPORT INFRASTRUCTURE
- GEN. PURPOSE CLASSROOMS
- SPECIAL PURPOSE CLASSROOMS / SPACES
- FACULTY OFFICES & SUPPORT
- ADMINISTRATION
- ACTIVITIES
- RESTROOMS
- ADMINISTRATIVE STUDENT SUPPORT SERVICES

J K F

AUG - 20 JG

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN

BUILDING FLOOR PLANS

10-7-79

10-7-79

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10-7-79

Building # 5:**Roof:**

- EPDM System under warranty until 2006. Can be maintained without consideration of replacement through 2016.

Exterior:

- New windows and exterior doors should be provided for energy efficiency.

HVAC / Electrical:

- Original HVAC units are downstairs for the Upper Level. Units are 15-20 years old. Upon renovation of Lower Level, consider replacement of Upper Level system also.
- Electrical system should be replaced and or increased due to Lower Level renovations and additional requirements of Kitchen.
- Exterior stairs are severely rusted and require significant maintenance.

Accessibility Issues

- No restrooms on the Lower Level.
- Existing restrooms on Upper Level are not accessible to persons with disabilities.

Interior Items

- Upper Level was renovated in 1998 and requires little upgrade except for toilets.
- Lower Level will be a complete gut.

Doors, Windows, & Hardware

- All original doors have knobs which should be replaced with new lever-mortise locksets.

Functionality/ Programmatic Changes

- Renovation to this building was originally part of the 2000 Bond Referendum, but funds were determined to be inadequate and allocated to other projects.
- Upper Level functions as the Campus Learning Resource Center (LRC), Bookstore, and Canteen. This floor shall continue to function in this capacity for some time to come. The Kitchens electrical system should be upgraded due to multiple changes over time.
- The Lower Level was an owner constructed set of spaces currently used for Student Support Services, faculty office, Institutional Planning, and Media Relations. The construction is sub-standard both from a quality and life-safety standard. Demolition of this level could be easily completed in preparation of recommended modifications.
- We recommend the Lower Level be programmatically changed to a student support function only with flexible learning, study, and computer areas for students. All other functions could be moved to Building #1. The new space should have study rooms, Guidance Counselors, help rooms, group tutoring labs, computers, and open study/reading areas. New accessible toilet rooms should also be provided.

LEGEND

- COMPUTER LAB
- MECH. / SUPPORT
- INFRASTRUCTURE
- GEN. PURPOSE
- CLASSROOMS
- SPECIAL PURPOSE
- CLASSROOMS / SPACES
- FACULTY OFFICES
- & SUPPORT
- ADMINISTRATION
- ACTIVITIES
- RESTROOMS
- ADMINISTRATIVE
- STUDENT SUPPORT
- SERVICES

JKF

AAC - SC JG

SEAFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
2010-2020

BUILDING FLOOR PLANS

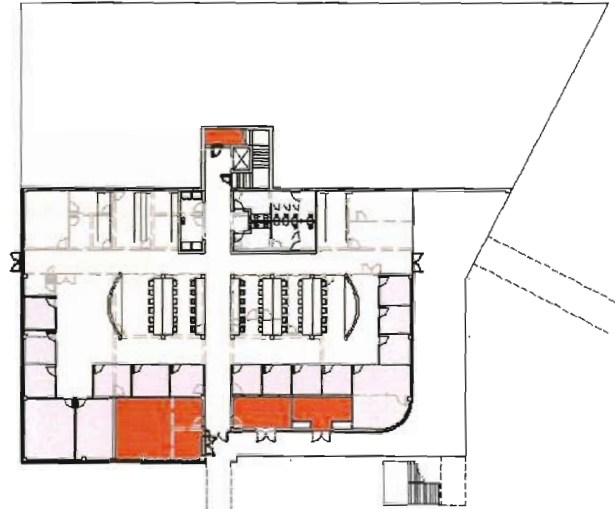
A1.5

100' x 100'
100' x 100'
100' x 100'
100' x 100'

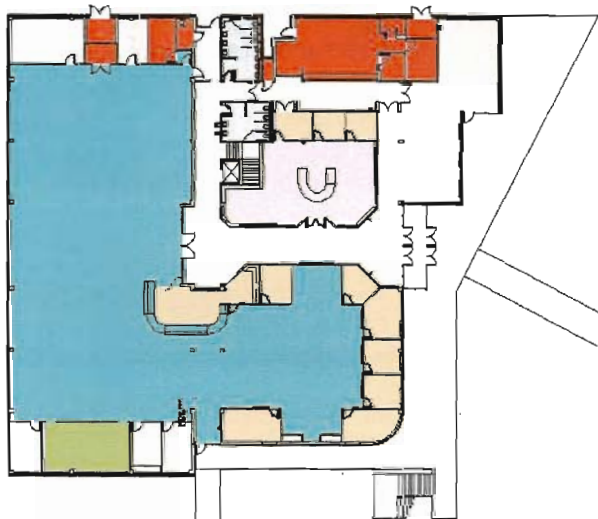
BUILDING #5
UPPER LEVEL
EXPANDED USE
FLOOR PLAN
10'-10"



BUILDING #5
UPPER LEVEL
EXPANDED USE
FLOOR PLAN
10'-10"



BUILDING #5
UPPER LEVEL
EXPANDED USE
FLOOR PLAN
10'-10"



BUILDING #5
UPPER LEVEL
EXPANDED USE
FLOOR PLAN
10'-10"



Building # 8:**Roof:**

- The existing roof is a white EPDM membrane system original to the building (c. 1991). The roof is maintained and in good condition. 20-years plus could be expected, therefore roof should be closely monitored and maintained.

Exterior:

- No major items.

HVAC / Electrical:

- Systems are operational requiring only standard maintenance and care.

Accessibility Issues:

- None of the restrooms meet current Accessibility Code.
- Room signs are located above door heads.

Interior Items

- None.

Doors, Windows, & Hardware

- None.

Functionality/ Programmatic Changes

- Continuing Education is the primary function of this building. There are spaces that would be better served in another appropriate space such as in Building #4.
- One space that could be utilized more efficiently is the Shop located in the northeast corner. This has been used for a number of industrial-type classes more suited for Building #4.
- Additional general purpose classrooms could be added via an addition to the north.
- Class space (existing) would free up and Nursing relocated to the new Allied Health Building.
- The existing kiln could be relocated to a more appropriate space in the addition.
- The existing kitchen should be renovated to provide an adequate space for Culinary classes.
- The existing Small Business Center (S.E. Corner) should be expanded to accommodate more activity, larger meetings, and staff offices. An addition could provide an appropriate architectural image for this function.

LEGEND

- COMPUTER LAB
- MECH. / SUPPORT INFRASTRUCTURE
- GEN. PURPOSE CLASSROOMS
- SPECIAL PURPOSE CLASSROOMS/SPACES
- FACULTY OFFICES & SUPPORT
- ADMINISTRATION
- ACTIVITIES
- RESTROOMS
- ADMINISTRATIVE STUDENT SUPPORT SERVICES

JKF

JACKSON COUNTY COMMUNITY COLLEGE MASTER PLAN

BUILDING FLOOR PLANS

ME-TOP	AM	JP
DM-005	DM-006	DM-007

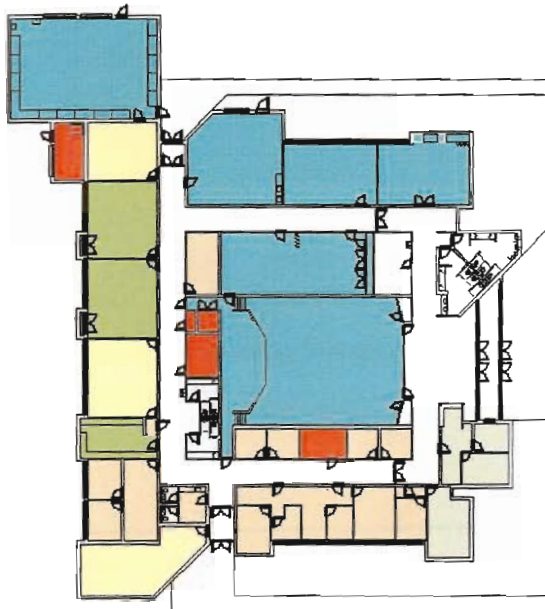


N

BUILDING 145
PROPOSED USE
FLOOR PLAN
10-107

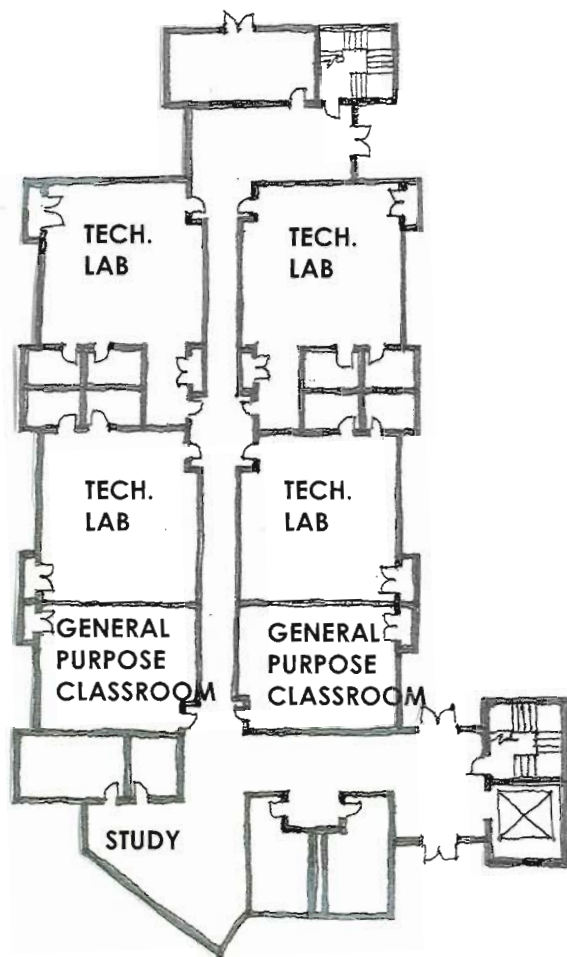
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BUILDING 145
PROPOSED USE
FLOOR PLAN
10-107

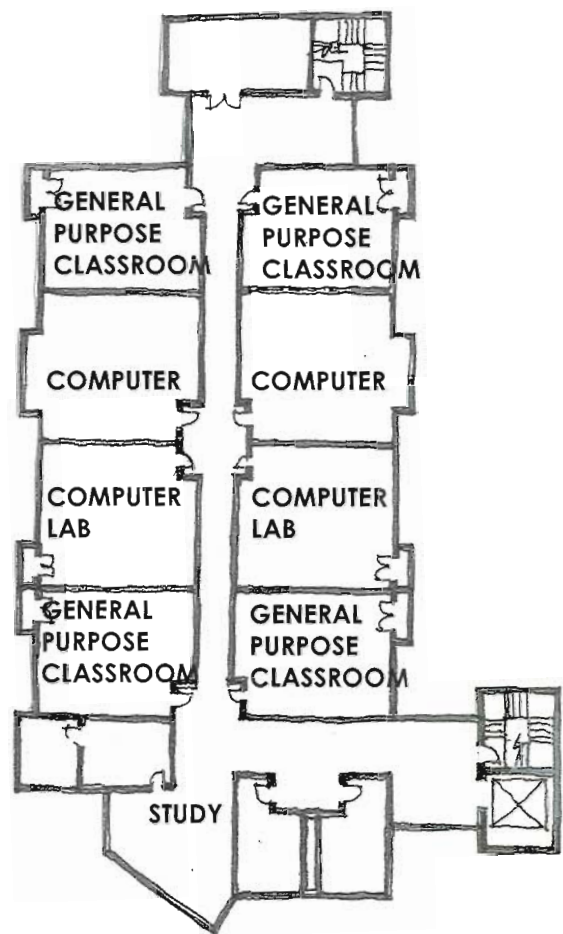


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BUILDING 145
PROPOSED USE
FLOOR PLAN
10-107



FIRST FLOOR PLAN



SECOND FLOOR PLAN

Building # 4:

Roof:

- New single-ply, fully-adhered EPDM roof, currently under warranty, was completed in 2000.

Exterior:

- New windows and exterior doors should be provided for energy efficiency.
- Consideration should be given to furring, insulating, and adding painted gypsum board interior to exterior walls for energy efficiency, air, and moisture control.

HVAC / Electrical:

- Drafting Lab 102 was reported to have a chronic mildew problem. A performance evaluation of existing units may be required. Most likely undersized to meet demands.
- Individual AC units (roof tops) added to shops.

Accessibility Issues:

- Restrooms are not accessible to persons with disabilities.

Interior Items:

- No major items.

Doors, Windows, & Hardware

- Some of the transparent finishes on the solid wood doors do not match.
- Some doors have lever arm adaptors, but many are knobs without lever-arm adaptors.
- Refinish doors and replace all hardware with new lever-type mortise hardware.

Functionality/ Programmatic Changes

- This building houses the industrial skills program including welding, drafting, and machine related functions. These programs require outdoor working space in addition to shops.
- We recommend expanding this building to include the Auto Shop Program and Electronics Lab (both from building #2). This would consolidate like-programs under one roof. Additionally, all these programs require outdoor space that should be screened from general view utilizing brick screen walls and gates.



BUILDING #4
CURRENT USE
FLOOR PLAN
10-10

LEGEND

- COMPUTER LAB
- MECH. / SUPPORT INFRASTRUCTURE
- GEN. PURPOSE CLASSROOMS
- SPECIAL PURPOSE CLASSROOMS / SPACES
- FACULTY OFFICES & SUPPORT
- ADMINISTRATION
- ACTIVITIES
- RESTROOMS
- ADMINISTRATIVE
- STUDENT SUPPORT SERVICES

JKF

ARCH. SC. JNE

BEALPORT COLLEGE
COMMUNITY COLLEGE
MASTER PLAN
2000-2010

BUILDING FLOOR PLANS

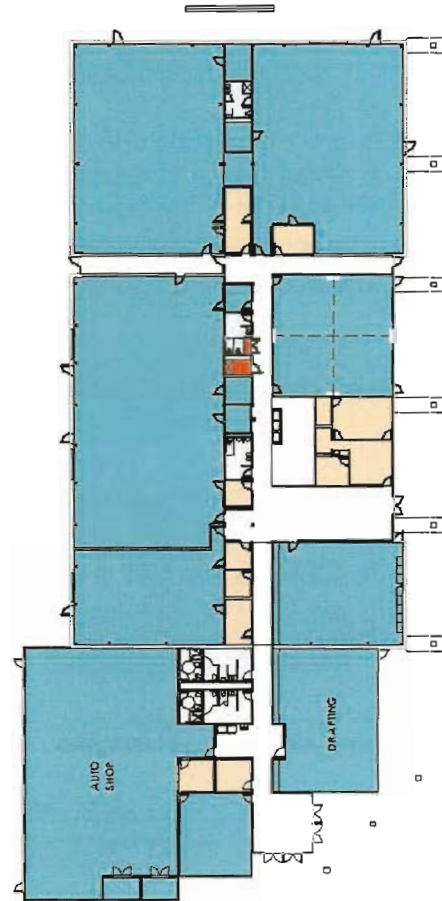
10-10

10-10

10-10

10-10

BUILDING #4
PROPOSED USE
FLOOR PLAN
10-10



Building # 2:**Roof:**

- New EPDM roof over majority of original building replaced in Fall 1998. Warranted until December 2013.
- Existing roof over 1990 addition. This roof should be replaced during Building #2 addition or no later than 2014.

Exterior:

- Existing soffit panels are believed to be asbestos type material. Panels will require maintenance and should be replaced.
- New windows and exterior doors should be provided for energy efficiency.
- Consideration should be given to furring, insulating, and adding painted gypsum board interior to exterior walls for energy efficiency, air, and moisture control.

HVAC / Electrical:

- New system added for S.E. corner (old cosmetology).
- All other areas have original equipment. Replacement of existing AHU and outdoor units of balance of building. All old electrical panels should be replaced.

Accessibility Issues:

- Vestibule at 2 entrances with double doors not accessible. Remove interior set of doors.
- Glass in door lites @ 47" A.F.F. (40" for HC accessibility). Can be corrected with door/hardware replacements.

Interior Items:

- Room signs are located above door heads. Comprehensive signage throughout building should be provided to match 2005 renovation.
- Cosmetic issues including base, wall paint, & door finishes.

Doors, Windows, & Hardware:

- 1990 Addition has lever hardware (mortise type).
- Original building has knobs to be modified with lever adapter kits in 2005 renovation (original hardware).
- Cosmetic issues with doors. Replace original buildings wood doors and hardware. Replace mortise locksets in 1990 Addition.

Functionality/ Programmatic Changes:

- The primary use for this building is for the Business curriculum, comprised of Computer Labs, General Purpose Classrooms, and Faculty Offices.
- At the north end of the building is an Automotive Shop and Electronics labs and Classroom. These functions are more industrial in nature and would be better served if re-located to Building #4 or a new Applied Technology Building.
- With Automotive and Electronic re-located, then the Business Division can expand into the automotive area, increasing available classes and computer rooms. An addition could be added to the north-side to provide more classrooms.

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LEGEND

- COMPUTER LAB
- MECH. / SUPPORT INFRASTRUCTURE
- GEN. PURPOSE CLASSROOMS
- SPECIAL PURPOSE CLASSROOMS/ SPACES
- FACILITY OFFICES & SUPPORT
- ADMINISTRATION
- ACTIVITIES
- RESTROOMS
- ADMINISTRATIVE STUDENT SUPPORT SERVICES

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BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
2019-2029

BUILDING FLOOR PLANS

AI2



BUILDING #1
PROPOSED USE
FLOOR PLAN
10-10



BUILDING #2
PROPOSED USE
FLOOR PLAN
10-10



**BEAUFORT COUNTY
COMMUNITY COLLEGE
Cost Estimate Summary
Master Facilities Plan**

	Description	Total Project Cost
PHASE 1	Building #12- Allied Health Building Campus Site Improvements (Lighting/Signage)	\$6,224,787
PHASE 2A	Driving Pad, Wetlands System	\$ 2,802,784
PHASE 2B	Burn Building	\$ 2,055,942
PHASE 3	Building 3 Renovations	\$830,423
PHASE 4	Building 1 Renovations	\$3,340,726
PHASE 5	Building 5 Renovations	\$1,958,063
PHASE 6	Building 8 Additions & Renovations	\$1,741,192
PHASE 7	Building #13- Applied Sciences Building	\$6,485,630
PHASE 8	Building #4 Additions & Renovations	\$2,117,022
PHASE 9	Building #2 Additions & Renovations	\$1,413,870
TOTAL PROJECT COST		\$28,970,439

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 1- NEW ALLIED HEALTH
BUILDING #12 CAMPUS IMPROVEMENTS

Space Planning

Space No.	Space	Net Area	Description
	Nursing Lab	2,100	w/shared In lab Teaching Area
	Nursing Lab	1,500	
	Nursing Lab	2,100	w/shared In Lab Teaching Area
	Nursing Lab	1,500	
	Medical Science Lab	1,500	
	Medical Science Lab; Prep/ Storage	300	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	Computer Lab	1,200	
	Computer Lab	1,200	
	Lab Storage	200	
	Lab Storage	200	
	Storage	200	
	Conference	300	
	Faculty Office- Director	150	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Work Area	250	
	Student Lobby/Lunge & Study Area	1,000	
	In-Classroom Closets (6)	482	
	M. Toilets	450	
	Staff Toilets- Male	60	
	M. Lockers	100	
	W. Toilets	450	
	Staff Toilets- Female	60	
	W. Lockers	150	
	2nd Floor Toilet Rooms	1,020	Same as 1st floor- No lockers
		-	

NET USABLE AREA SUBTOTAL	20,912	
Mechanical Rooms	2,000	
Stair Towers	800	
Elevators	100	
Elevator Equipment Room	180	
Walls, Circulation, Misc.	7,198	30%
TOTAL BUILDING AREA	31,190	

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 1- NEW ALLIED HEALTH
BUILDING #12 CAMPUS IMPROVEMENTS

Budget Analysis:

Cost per SF	\$	125	
Building Cost	\$	3,898,700	
Add for Elevators	\$	80,000	
Add for Stair Towers	\$	24,000	
Subtotal Building Cost	\$	4,002,700	
City of Washington Impact Fees	\$		10,000
Earthwork, clearing, grading, fill, seeding (1 Acres)	\$		25,000
Curb & Gutter	\$		20,000
New Roadway	\$		57,600
Detention Pond	\$		-
Water/ Sewer	\$		90,000
Storm Water Management/ Drainage	\$		35,000
Landscaping	\$		50,000
Parking (90 Spaces)	\$		180,000
Campus Lighting	\$		93,000
Campus Sidewalk Improvements (excludes Bld. 4 Improvements)	\$		45,000
Building Sign Post incl. "blue-Light System"	\$		65,000
Pedestrian Light Improvements	\$		58,000
Site Cost Total	\$	728,600	

Construction Cost	\$ 4,731,300	
Contingency	\$ 236,565	5% Incl. Geotechnical Report & Survey
Construction Cost & Contingency	\$ 4,967,865	
Furnishing & Equipment	\$ 155,948	4%
Subtotal	\$ 5,123,813	
A/E Fees	\$ 409,905	8%
Subtotal	\$ 5,689,666	
Escalation	\$ 535,121	0.25% @ 36 To Bid (Months)

Estimated Total Project Cost **\$ 6,224,787**

**BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
AND PROJECT BUDGET
PHASE 2A- NEW DRIVING PAD**

Description	Cost		
Driving Pad (3" I-2 + 8" ABC)	\$ 833,333		
Remove Unsuitable Soils at Pad	\$ 200,000		
Site Fill at Pad	\$ 533,333		
Geotechnical Fabric at Pad	\$ 43,000		
Wetlands around pad	\$ 100,000		
Curb & Gutter	\$ -		
Earthwork, clearing, grading, fill, seeding	\$ 175,000	7 Acres	
Water/ Sewer	\$ -		
Storm Water Management/ Drainage	\$ 42,000		
Landscaping	\$ 35,000		
Site Lighting	\$ 125,000		
Observation Tower	\$ 150,000		
Estimated Construction	\$ 2,236,667		
Contingency	\$ 111,833	5%	
A/E Fees	\$ 187,880	8%	
Subtotal	\$ 2,536,380		
Escalation	\$ 266,404	0.25% @	40
			To Bid (Months)
Estimated Total Project Cost	\$ 2,802,784		

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 2B- NEW BURN BUILDING

Description	Cost		
Earthwork, clearing, grading, fill, seeding	\$ 25,000	1 Acres	
New Burn Tower	\$ 1,300,000		
Concrete Pad	\$ 288,000		
Water/ Sewer	\$ 65,000		
Storm Water Management/ Drainage	\$ 80,000		
Site Lighting	\$ 20,000		
City of Washington Impact Fees	\$ 5,000		
Landscaping	\$ 30,000		
Estimated Construction	\$ 1,813,000		
Contingency	\$ 90,650	5%	
A/E Fees	\$ 152,292	8%	
Subtotal	\$ 2,055,942		
Escalation	\$ 261,779	0.25% @	48 To Bid (Months)
Estimated Total Project Cost	\$ 2,055,942		

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 3- BUILDING 3 RENOVATION

Description	Cost			
New Construction (Additions)	\$	-	0 SF @	\$ 135.00
Renovation (Major)	\$	-	0 SF @	\$ 85.00
Renovation (Minor)	\$	223,500	14900 SF @	\$ 15.00
Remove & replace doors & hardware	\$	34,200	38 EA @	\$ 900.00
Replace Mechanical System (AHU's/Chillers)	\$	178,800	14900 SF @	\$ 12.00
Replace Electrical System (MDP's/Panels)	\$	149,000	14900 SF @	\$ 10.00
Replace Windows & exterior doors	\$	63,000	42 Ea @	\$ 1,500.00
Exterior wall furring	\$	37,800	5400 SF @	\$ 7.00
Estimated Construction	\$	686,300		
Contingency	\$	68,630	10%	
A/E Fees	\$	75,493	10%	
Subtotal	\$	830,423		
Escalation	\$	119,867	0.25% @	54
				To Bid (Months)
Estimated Total Project Cost	\$	830,423		

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 4- BUILDING 1 RENOVATION

Description	Cost			
New Construction (Additions)	\$	-	0 SF @	\$ 135.00
Renovation (Major)	\$	765,000	9000 SF @	\$ 85.00
Renovation (Minor)	\$	810,000	18000 SF @	\$ 45.00
Remove & replace doors & hardware	\$	81,000	90 EA @	\$ 900.00
Replace Mechanical System (AHU's/Chiller:	\$	324,000	27000 SF @	\$ 12.00
Replace Electrical System (MDP's/Panels)	\$	270,000	27000 SF @	\$ 10.00
Replace Windows & exterior doors	\$	75,000	50 Ea @	\$ 1,500.00
Exterior wall furring	\$	51,800	7400 SF @	\$ 7.00
Estimated Construction	\$	2,376,800		
Contingency	\$	237,680	10%	
A/E Fees	\$	261,448	10%	
Subtotal	\$	2,875,928		
Escalation	\$	464,798	0.25% @	60
				To Bid (Months)
Estimated Total Project Cost	\$	3,340,726		

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 5- BUILDING 5 RENOVATION

Description	Cost		
New Construction (Additions)	\$	-	0 SF @ \$ 135.00
Renovation (Major)	\$	958,205	11273 SF @ \$ 85.00
Renovation (Minor)	\$	22,500	500 SF @ \$ 45.00
Remove & replace doors & hardware	\$	20,800	26 EA @ \$ 800.00
Replace Mechanical System (AHU's/Chillers)	\$	202,240	20224 SF @ \$ 10.00
Replace Electrical System (MDP's/Panels)	\$	161,792	20224 SF @ \$ 8.00
Estimated Construction	\$	1,365,537	
Contingency	\$	136,554	10%
A/E Fees	\$	150,209	10%
Subtotal	\$	1,652,300	
Escalation	\$	305,764	0.25% @ 68 To Bid (Months)
Estimated Total Project Cost	\$	1,958,063	

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 6- BUILDING 8 RENOVATION

Description	Cost			
New Construction (Additions)	\$	945,000	7000 SF @	\$ 135.00
Renovation (Major)	\$	186,575	2195 SF @	\$ 85.00
Renovation (Minor)	\$	70,650	1570 SF @	\$ 45.00
Remove & replace doors & hardware	\$	-	0 EA @	\$ 800.00
Replace Mechanical System (AHU's/Chillers)	\$	-	0 SF @	\$ 8.00
Replace Electrical System (MDP's/Panels)	\$	-	0 SF @	\$ 10.00
Estimated Construction	\$	1,202,225		
Contingency	\$	120,223	10%	
A/E Fees	\$	132,245	10%	
Subtotal	\$	1,454,692		
Escalation	\$	286,499	0.25% @	72 To Bid (Months)
Estimated Total Project Cost	\$	1,741,192		

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 7- NEW APPLIED TECHNOLOGY
BUILDING #13

Space Planning

Space No.	Space	Net Area	Description
	Electronics Lab	1,500	
	Electronics Lab	1,500	
	Applied Technology Lab	1,500	
	Applied Technology Lab	1,500	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	General Purpose Classroom	900	
	Computer Lab	1,200	
	Computer Lab	1,200	
	Computer Lab	1,200	
	Computer Lab	1,200	
	Lab Storage	150	
	Lab Storage	150	
	Lab Storage	150	
	Lab Storage	150	
	Storage	200	
	Conference	300	
	Faculty Office- Director	150	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Faculty Office	120	
	Work Area	250	
	In-Classroom Closets (6)	480	
	M. Toilets	450	
	Staff Toilets- Male	60	
	W. Toilets	450	
	Staff Toilets- Female	60	
	2 nd Floor Toilet Rooms	1,020	Same as 4 items above except on 2nd Flr.
		-	

NET USABLE AREA SUBTOTAL	20,820	
Mechanical Rooms	2,000	
Stair Towers	800	
Elevators	100	
Elevator Equipment Room	180	
Walls, Circulation, Misc.	7,170	30%
TOTAL BUILDING AREA	31,070	

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 7- NEW APPLIED TECHNOLOGY
BUILDING #13

Budget Analysis:

Cost per SF	\$	125	
Building Cost	\$	3,883,750	
Add for Elevators	\$	80,000	
Add for Stair Towers	\$	24,000	
Subtotal Building Cost	\$	3,987,750	
Earthwork, clearing, grading, fill, seeding (1 Acres)	\$		25,000
City of Washington Impact Fees	\$		10,000
Curb & Gutter	\$		20,000
New Roadway	\$		-
Detention Pond	\$		-
Water/ Sewer	\$		18,000
Storm Water Management/ Drainage	\$		15,000
Landscaping	\$		50,000
Parking (90 Spaces)	\$		180,000
Campus Lighting	\$		93,000
Site Cost Total	\$	411,000	

Construction Cost	\$ 4,398,750	
Contingency	\$ 219,938	5% Incl. Geotechnical Report & Survey
Construction Cost & Contingency	\$ 4,618,688	
Furnishing & Equipment	\$ 155,350	4%
Subtotal	\$ 4,774,038	
A/E Fees	\$ 381,923	8%
Subtotal	\$ 5,311,311	
Escalation	\$ 1,174,320	0.25% @ 80 To Bid (Months)

Estimated Total Project Cost **\$ 6,485,630**

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 8- BUILDING 4 RENOVATION

Description	Cost		
New Construction (Additions)	\$ 1,174,500	8700 SF @	\$ 135.00
Renovation (Major)	\$ 42,500	500 SF @	\$ 85.00
Renovation (Minor)	\$ -	0 SF @	\$ 45.00
Remove & replace doors & hardware	\$ 47,700	53 EA @	\$ 900.00
Replace Mechanical System (AHU's/Chillers)	\$ -	0 SF @	\$ 8.00
Replace Electrical System (MDP's/Panels)	\$ -	0 SF @	\$ 10.00
New Brick Screenwall	\$ 80,500	350 LF @	\$ 230.00
Exterior wall furring	\$ 31,500	4500 SF @	\$ 7.00
Estimated Construction	\$ 1,376,700		
Contingency	\$ 137,670	10%	
A/E Fees	\$ 151,437	10%	
Subtotal	\$ 1,665,807		
Escalation	\$ 451,215	0.25% @	96 To Bid (Months)
Estimated Total Project Cost	\$ 2,117,022		

BEAUFORT COUNTY
COMMUNITY COLLEGE
MASTER PLAN
SPACE REQUIREMENTS, AND PROJECT BUDGET
PHASE 9- BUILDING 2 ADDITION/ RENOVATION

Description	Cost		
New Construction (Additions)	\$ 554,310	4106 SF @	\$ 135.00
Renovation (Major)	\$ 552,500	6500 SF @	\$ 85.00
Renovation (Minor)	\$ -	0 SF @	\$ 45.00
Remove & replace doors & hardware	\$ 32,000	40 EA @	\$ 800.00
Replace Mechanical System (AHU's/Chillers)	\$ 120,000	15000 SF @	\$ 8.00
Replace Electrical System (MDP's/Panels)	\$ 150,000	15000 SF @	\$ 10.00
Exterior wall furring	\$ 37,800	5400 SF @	\$ 7.00
Estimated Construction	\$ 892,300		
Contingency	\$ 89,230	10%	
A/E Fees	\$ 98,153	10%	
Subtotal	\$ 1,079,683		
Escalation	\$ 334,187	0.25% @	108 To Bid (Months)
Estimated Total Project Cost	\$ 1,413,870		

BEAUFORT COUNTY COMMUNITY COLLEGE
ROOF MAINTENANCE ANALYSIS
2006-2016

BUILDING NO.	AREA(SQ)	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	Manufacturer	Warranty #	Expiration
1	22,000	\$40,000 RP-Upper	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	Carlisle(Upper) Carlisle (Lower)		Expired
2	19,000	\$500 W	\$500 W	\$54,000 RP-Annex	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	Verico	0055244	12/31/2015
3	17,115	\$188,265 RP	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W			
4	22,500	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	Verico	057754	2/18/2019
5	20,000	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	\$1,000 M	Verico	047572	2/28/2016
6	0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	Not Applicable- Metal Roof		
7	0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	Not Applicable- Metal Roof		
8	22,000	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$198,000 RP	\$500 W	\$500 W	\$500 W	\$500 W	Carlisle	CMD #6826A-91	1/31/2012
9	25,000	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$1,200 M	\$225,000 RP	Verico	046557	1/30/2016
10	29,000	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$1,200 M	\$1,200 M	\$1,200 M			
11	28,000	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W	\$500 W			

ANNUAL SUMMARY	\$252,665	\$5,400	\$58,900	\$5,400	\$5,400	\$5,900	\$22,700	\$5,200	\$5,200	\$5,200	\$5,200	\$29,000			
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LEGEND:
R Repair
M Maintenance
RP Replacement
W Warranty Maintenance

NOTE: ALL COSTS ARE ESTIMATED IN 2006 DOLLARS.

- Minutes of Meeting from July 17, 2005
- BCCC Semester ETC Report
- Trends and Assumptions to Guide Enrollment Projections for the North Carolina Community College System



Minutes of Meeting:

Meeting Date: July 27, 2005
Location: Beaufort County Community College
RE: Master Plan Meeting
Project No.: 2005-21
Date Prepared: October 17, 2005

Discussion:

- 1) Introduction by Dr. David McLawhorn of Beaufort County Community College. John K. Farkas, AIA (JKF) of JKF Architecture provides an overview of the agenda for this meeting including:
 - a) Master Plan Process Overview.
 - b) Discussion of Educational Programs.
 - i) Identify Current trends in Educational programming.
 - ii) 5-10 Year Plan projected trends.
 - iii) Facility Usage as it relates to educational programs.
 - c) Discuss Overall Facilities including:
 - i) Global needs to meet educational goals.
 - ii) Infrastructure items necessary to meet educational goals.
 - iii) Building needs necessary to meet educational goals.
- 2) Curriculum Programs & Trends. Comments from attendees:
 - a) Not significant Curriculum Growth projected in this area. Things have flattened out.
 - b) Partnerships with High Schools are becoming important.
 - c) Restructuring of Programs to meet current needs.
 - d) Skill Development (retraining the workforce, continuing education) is may have peaked.
 - e) Distance Education is still very important and growing.
 - f) Seeing smaller layoffs.
 - g) Partnerships w/ECU (On Campus) has grown. Overflow from PCC.

ARCHITECTURE
PLANNING
DESIGN

P.O. Box 20662
Greenville, NC 27858
Phone: 252-355-1068
Fax: 252-355-0216
Jkf@j kf-arch.com

- i) Allied Health continues to be successful. Medical Office Administration requests have increased.
 - ii) Continuing Education.
 - (1) Seeing a lot of incoming students who were laid off.
 - iii) Vocational increase due to layoffs including:
 - (1) Automotive.
 - (2) Welding.
 - (3) Electronics.
 - iv) College Transfer is a growing role for Community Colleges (numbers projected are flat).
 - v) Early Childhood training continues to be important. Space needs will be met with Building #11.
 - vi) Human Services space needs will be met by Building #11.
 - vii) Cosmetology (moving creates space for Business & Electronics)
 - viii) Business programs continue to thrive. Workforce retraining.
 - ix) BLET/Public Safety opportunities continue to expand.
- 3) Nursing & Allied Health Program.
- a) Constraints:
 - i) Limitations of existing Building. May be remedied in the short term by renovation.
 - ii) Faculty (Qualifications).
 - iii) Access to Clinical Sites.
 - b) Continuing Education opportunities seen in providing the following, but limited by space and faculty:
 - i) Nurse's Aid
 - ii) Pharmacy
 - iii) Physical Therapy
 - iv) Radiology
 - v) Occupational Therapy
 - vi) Medical Assistants
 - vii) Speech Therapy
 - viii) Surgical Technician

- ix) Dental Hygienist/Technician
- x) Dental Lab
- xi) Have Medical Lab Program already. Cyclical. (In #9 Physics Lab)
- c) A discussion ensued in which a unanimous opinion centered on a new building for Allied Health being a high priority.
- 4) Continuing Education Program:
 - a) Additional Classroom Space is needed.
 - b) Need additional Office Space.
 - c) Traffic issues for Continuing Education registration.
 - d) Small Business Center is a key to College's interaction with Business Community.
 - i) Need a meeting room for 15-20 People (high priority).
 - e) Auditorium Upgrade including new seats, lights, sound, etc.
 - f) Kitchen Area too small.
 - i) Needs to be better equipped for culinary classes.
 - g) Kiln areas are problematic. Should be relocated to dedicated area or space modified to suit.
 - h) Increase in Gardening / Landscaping among retirees.
 - i) Motorcycle Training Program (High Request).
- 5) Public Safety Program:
 - a) FATS Room should be its own room in Building #10.
 - b) Burn Tower / Building.
 - c) Driving Pad.
 - d) Straight-away.
- 6) Vocations Programs:
 - a) Historic Restoration/Preservation (Continuing Education)
 - b) Automotive shop is short of space. Relocate to Buildings #4 & #7 and expand? Consensus was that was a good idea.
- 7) General Needs
 - a) General Purpose Classrooms.
 - b) Faculty Offices.
 - c) Flexibility.

- d) Laboratory Spaces for plumbing, electronics, and other vocations.
- e) Expansion of Distance Learning.
- f) Auto-shop is undersized (18 students in a 12 person space).
- g) Physical Education for P.E. Classes and Life-style issues (Wellness programs).
- h) More connectivity between buildings. Readability.
- i) Provide group study rooms.
- j) Safety & Liability is a concern. Campus used by walkers and runners after class hours. Lighting and safety is a concern.
- k) Parking availability and location. Easy pedestrian movement and access to buildings.

We believe the foregoing to be an accurate summary of discussions and related decisions. We would appreciate formal, written notification of exceptions to this record within seven (7) days of its release. Failing such notification, we will consider these minutes a matter of record.

Respectfully submitted,

John K. Farkas, AIA
Principal/ Project Architect

xc:

- None.

Attach:

- None.

file: e:\jcf-arch\projects-2005\2005-21\2005 master-facilities plan\2005 master plan summary\051-001.doc

BCCC Semester FTE: SUN Tape Report, Office of the System Administrator

DEGREE PROGRAMS	97-98			98-99			99-00			00-01			01-02			02-03			03-04			04-05			
	F	Sp	Su	F	Sp	Su	F	Sp	Su	F	Sp	Su	F	Sp	Su	F	Sp	Su	F	Sp	Su	F	Sp	Su	
A1010 Associate in Arts	59.7	47.6	5.0	47.9	44.8	9.6	48.7	53.0	8.1	56.3	59.2	10.2	55.7	55.2	13.4	59.2	67.9	14.4	70.0	69.8	13.3	71.0	59.4	14.0	
A1030 Associate in GE	41.1	46.0	2.6	18.2	13.8	20.4	55.4	50.7	18.8	47.2	49.1	16.8	63.8	68.1	26.4	92.9	96.1	25.2	97.3	92.6	24.5	103.2	86.8	27.0	
A1040 Associate in Science	12.9	13.8	1.6	14.3	14.9	2.8	17.8	11.9	1.4	15.5	15.5	2.8	21.0	20.8	4.0	20.0	17.5	3.7	20.4	20.2	4.6	25.5	26.9	3.7	
Associate in Applied Science																									
A2510X Accounting	14.4	19.0	4.3	19.2	17.3	3.8	16.2	13.4	1.9	13.0	11.6	3.1	15.4	14.7	3.8	15.9	19.7	4.4	18.7	16.3	2.0	14.6	16.2	1.7	
A4510I ADN	36.0	33.9	10.7	41.0	36.0	9.0	40.7	33.8	9.0	39.0	42.4	10.8	47.8	43.8	12.0	42.3	49.9	13.5	43.6	40.5	13.7	41.8	36.7	12.1	
A6016I Automotive Sy	12.8	16.0	7.7	16.7	7.4	3.7	9.1	6.6	5.6	7.4	9.4	3.3	6.2	10.3	3.7	9.9	9.0	3.8	10.6	10.2	3.5	11.7	11.9	4.9	
A2512I Business Adm	12.9	14.4	3.4	23.8	18.3	3.5	16.8	19.1	4.2	16.0	17.7	4.4	17.1	15.4	3.4	15.6	20.3	3.4	18.6	17.6	2.2	14.6	11.8	3.2	
A2513I Computer Prg	21.4	15.9	3.0	19.5	16.3	3.7	14.9	22.1	3.9	32.7	27.1	2.5	22.9	20.5	2.5	16.8	15.1	4.1	14.4	17.6	2.1	13.6	18.5	3.9	
A5518I CJC	16.3	10.0	3.4	14.6	15.5	3.7	14.8	14.3	1.7	11.8	12.5	3.6	18.3	21.7	4.9	20.2	19.5	2.3	13.3	17.1	1.4	14.7	17.5	0.5	
A5522I E Ch Assoc	12.3	19.5	2.0	14.4	19.5	3.4	17.0	25.0	5.2	21.3	22.5	4.7	35.4	28.1	3.3	28.2	29.0	3.8	29.9	30.5	3.1	31.7	25.8	2.9	
A5522I ECA/Tchr Asst															0.2	1.3	6.0	2.2	7.7	11.0	3.2	19.9	23.7	3.1	
A4018I Ele Eng Tech	14.0	20.2	4.9	14.9	14.6	7.9	14.9	14.6	4.3	10.2	12.9	3.1	13.2	14.1	7.4	17.2	20.5	6.3	14.1	18.6	3.6	7.7	8.5	2.8	
A4020I Elen Eng Tech	10.0	9.9	2.2	8.2	8.1	2.9	7.0	7.9	2.1	8.3	7.6	3.4	7.8	6.6	1.7	8.8	7.8	2.0	4.1	3.7	1.3	5.1	5.0	1.2	
A2014I Env Science						5.9	4.9	13.2	11.8	2.6	7.4	7.0	1.9	6.9	6.1	0.8	1.8	1.4	0.5	0.8	0.8	0.1	0.3	0.3	0.1
A5528I Gen Occ Tech				12.2	36.8	39.4	0.1	0.3	0.7																
A4538I HST	12.7	14.7	6.4	19.2	23.6	9.2	21.7	23.6	8.2	18.4	22.4	6.6	20.1	21.0	5.5	13.4	21.6	7.8	12.1	13.6	2.7	9.4	9.3	1.2	
A6024I HETT/Ag Syst	13.5	11.8	5.6	23.0	22.5	11.1	17.7	13.3	8.2	7.4	5.3	2.9	7.6	6.4	3.2	2.7	2.1	0.2	1.1	0.9		1.9	0.6	0.6	
A6024I HETT/Const																			3.9	1.4	1.3	7.3	5.7	3.3	
A5024I Indus Sys																4.9	5.0	2.5	7.3	5.7	0.8	2.6	0.5	0.3	
A2526I IS/Ntwk															0.2	4.5	1.6	4.6	4.7	0.2	3.5	4.8	1.8	1.3	
A2526I IS/Prog					0.0	0.4										0.2					0.2				
A2526I Inf Syst	17.2	20.3	2.8	14.2	15.6	3.1	17.7	14.7	2.5	16.3	19.4	3.5	19.5	12.8	2.8	10.7	10.3	1.6	7.9	4.7	1.0	2.8	3.1	0.1	
A2529I Internet Tech																1.3	1.4	0.3	1.7	1.4		2.2	0.8		
A2531I MOA							23.3	25.9	3.3	14.8	18.4	5.2	20.3	31.9	9.8	36.8	45.1	9.0	38.2	45.7	8.9	37.4	41.7	7.5	
A4032I MET: D & D	14.0	12.4	3.4	16.1	19.2	3.2	13.4	12.6	3.3	10.0	12.0	2.2	11.4	13.0	3.4	11.5	10.5	3.0	11.8	9.8	2.7	13.9	14.6	6.6	
A4032I MET: Mach	12.5	12.0	3.8	15.0	10.1	2.6	8.8	5.6	1.4	6.0	5.4	1.2	7.9	5.2	1.0	6.4	7.2	1.2	5.5	4.9	0.9	8.7	7.0	0.9	
A4542I MLT	11.0	12.6	7.6	10.6	13.1	4.6	8.9	11.4	4.8	12.9	13.8	3.4	13.1	14.8	3.2	14.6	19.1	4.7	14.4	21.9	5.6	12.7	17.4	2.7	
A2536I OST	14.4	12.7	4.2	11.9	12.0	3.8	15.9	18.8	4.0	17.3	17.4	4.8	10.8	12.6	1.5	5.8	7.2	1.7	7.9	10.4	3.6	11.4	10.1	1.4	
A2536I OST/Medical	14.0	19.3	3.6	17.6	22.5	6.9	0.5	0.1																	
A5042I Welding	19.9	28.2	5.8	19.0	16.6	4.0	8.1	6.8	2.1	12.3	11.8	4.5	13.6	14.0	3.3	16.4	16.7	3.5	15.5	13.2	1.7	14.0	13.7	2.2	
A5042I Welding-undw	0.3	0.5	0.4	3.2	1.4	1.0	2.9	1.4		0.3					0.6										
subtotal	393.5	410.8	106.6	439.0	428.3	128.9	425.5	418.8	108.8	401.8	420.2	105.1	456.8	461.3	123.1	479.0	530.6	125.0	494.2	504.7	108.1	501.3	474.9	107.9	
CERTIFICATE PROGRAMS																									
C6016 Automotive																			0.8	0.7		0.8			
C4018 Basic Electrical Wiring																	0.5	0.3	0.3	0.6		0.8	0.6		
C4020 Basic Electronics																			0.2				0.3		
C2531 Basic Medical Office																	0.2	0.6	1.3	1.6	0.3	0.4	1.3	0.8	
C2536 Basic Office Skills																		0.1	0.7	0.2	0.5	0.2	0.3	0.8	
C5512 BLET	27.6	13.5		27.0	24.8		24.8	18.9		15.8	12.4		23.8	13.4		19.9	9.2					10.7	15.5		
C2512 Business Administration																			0.5	1.2	0.3	2.3	1.8	0.1	
C4032 CAD Operator																	0.5	0.5	0.2	0.2		0.3	0.9		
C5537 Comm Spanish Facilitator																	0.2		0.1	0.1	0.2		0.4	0.9	0.1
C2526 Computer Hardware																					0.7		0.4	1.1	0.3
C2513 Database Management																	0.1	0.1		0.4					
C6522 ECA																	1.2	0.3		0.8	0.7		0.3	0.3	0.4
C6024 HETT/Ag Sys																	0.8	1.2					0.9	0.6	0.6
C5024 Industrial Maintenance																		0.8							
C4032 Machining Technology																		0.4					0.3	0.2	
C5538 Manicuring Instructor	0.1																								
C5540 Manicuring Nail Tech	1.3																								
C2526 Networking																	0.5	0.6		0.6	0.6		0.3		
C2540 Real Estate	1.1			0.4	0.8			0.8			0.2														
C2513 Visual Basic Pgmg																									
C5042 Welding Technology																	0.5	0.9	0.8	2.1	1.5	0.2	2.2	2.0	0.5
subtotal	30.0	13.5	0.0	27.4	25.4	0.0	24.8	17.8	0.0	15.8	12.5	0.0	23.8	13.4	0.0	24.4	15.5	2.5	8.3	32.0	1.0	21.4	25.5	2.0	
DIPLOMA PROGRAMS																									
D4023 Applied Electronics																			0.7			0.8			
D4018 Applied Electrical																			1.3	1.4	0.8		0.4		
D6016 Automotive																	0.5		1.3	1.3		1.7	1.8	0.4	
D5514 Cosmetology	31.8	34.6	8.2	38.0	39.1	7.7	39.2	36.4	7.6	32.8	26.1	8.8	27.5	27.8	7.0	25.5	22.0	8.9	25.2	22.2	9.8	27.1	22.1	6.5	
D5522 ECA																	0.4	1.5	0.5	2.3	1.4	0.4	3.5	3.3	0.7
D5526 Funeral Dir Services		1.4																							
D4528 Human Services																				0					

BCCC Semester Enrollment: "Enrollment Summary by Major" Report", Office of the Registrar

PROGRAM	97-98		98-99		99-00		00-01		01-02		02-03		03-04		04-05		05-06		06-07	
	F	Sp	F	Sp	F	Sp	F	Sp	F	Sp	F	Sp	F	Sp	F	Sp	F	Sp	F	Sp
Assoc in Arts	162	132	130	113	125	134	132	136	144	131	115	144	155	166	156	145	142			
Assoc in GE	116	125	50	40	148	147	132	149	162	204	249	274	267	273	279	257	251			
Assoc in Science	32	33	35	35	44	27	35	34	49	47	48	44	55	52	61	69	80			
Assoc in Applied Science																				
A2510(Accounting	33	43	43	38	36	31	34	27	35	33	35	46	41	34	37	42	35			
A4510(ADN	55	58	63	57	63	54	59	56	70	61	70	69	76	67	70	63	68			
A6016(Autom Syst Tech	17	18	20	15	16	10	11	11	8	11	17	13	16	17	17	19	19			
A2512(Bus Administ	33	37	60	54	48	49	37	42	45	44	36	52	36	42	36	33	39			
A2513(Comp Prog(IS/Prog)	37	28	34	28	31	41	58	49	46	41	36	31	30	34	27	34	23			
A5518(Crim Justice Tech	41	30	38	34	33	33	28	33	44	49	48	41	35	39	38	41	39			
A5522(E Ch Assoc	45	88	74	81	71	86	70	72	106	89	126	105	112	115	111	94	85			
A5522(E Ch A/Teacher Asst											13	24	19	31	42	53	48			
A4018(Electrical Eng Tech	29	39	27	23	29	31	24	28	31	26	36	42	28	36	18	19	18			
A4020(Electronics Eng Tech	20	22	20	16	16	19	17	18	12	11	16	15	10	10	11	11	12			
A2014(Environ Sci Tech				14	25	21	15	18	18	20	9	6	3	3	1	1	1			
A5528(Gen Occ Tech			107	115	2	3			1											
A6024(HETT/Ag Syst	15	12	25	22	18	17	7	6	8	7	4	4	9	3	9	7	11			
A6024(HETT/Const														2	3	1	1			
A4538(HST/Social Svcs	32	37	46	58	55	56	50	54	49	48	38	47	33	34	24	21	27			
A5024(Industrial Syst Tech											8	6	8	8	5	3	3			
A2526(Information Syst	35	39	31	34	35	33	34	39	37	26	23	20	19	14	8	8	10			
A2526(Inf Syst/Ntwk Adm+Supp									1	5	11	8	8	10	5	3	5			
A2529(Internet Technologies											3	3	3	4	3	2	5			
A4032(Mech Eng:Machinist	24	23	29	23	24	15	12	12	14	16	14	16	13	11	15	16	14			
A4032(Mech Eng:Dgn&Dft	26	20	29	34	19	26	21	22	21	24	23	21	24	21	22	26	24			
A4542(MLT	19	15	20	15	18	16	21	15	21	16	23	24	28	27	24	21	21			
A2536(OST/Medical	34	37	37	45	44	47	29	34	43	59	77	94	82	90	79	87	73			
A2531(OST/Med Ofc Adm	34	37	37	45	44	47	29	34	43	59	77	94	82	90	79	87	73			
A2536(Ofc Syst Tech (OST)	29	27	28	26	30	37	33	32	24	30	15	16	18	24	26	21	15			
A5042(Welding-Degree	43	61	43	32	20	18	30	24	35	28	35	31	35	22	27	26	24			
A5042(Welding-Underwater	1	2	4	3	6	3	1		1											
subtotal	878	926	993	955	956	954	890	911	1025	1026	1123	1196	1163	1189	1154	1123	1093	0	0	0

ICATE PROGRAMS

Agricultural Equipment Systems											1	1			1	1	1			
Automotive Technology													2	1	1					
Basic Electrical Wiring Methods											1	1	1	3	3	2	1			
Basic Electronics																				
BLET	23	12	24	21	22	14	14	10	26	12	17	10	12	10	10	13	10			
Basic Medical Office											1	3	4	3	4	2	6			
Basic Office Skills											1	2	1			2	1			
Business Administration													1	3	5	5	7			
C++ Programming																	1			
CAD Operator											1	1	2	1	2		2			
Computer Hardware & Repair													1	1	2	1	3			
Community Spanish Facilitator											2		1	3	3	6	3			
Early Childhood											7	5	5	4	2	3	2			
Human Services Technology																	1			
Industrial Mntnc - Mechanical													1							
Machining Technology													1							
Networking											1	1	2	1	1	2	1			
Plastics Technology																				
Real Estate	7		3	5		6		1												
Visual Basic Programming											1	1								
Welding Technology											2	4	5	5	5	4	2			
Basic MIG/TIG Wld Plate																	1			
GTAW TIG Wld/Plate/Pipe																	1	2	4	
Basic Welding/Stick & Mig																		1		
Word Processing Specialist														1	1					
Manufacturing Instructor	1																			
subtotal	31	12	27	26	22	20	14	11	20	12	35	31	37	36	44	44	47	0	0	0

IA PROGRAM

Applied Electrical Principles														2	1	1				
Automotive Technology													1	2	2	2	1			
Cosmetology	38	42	50	55	54	52	47	38	39	32	33	32	36	29	39	29	36			
Early Childhood												2	4	7	4	1	12			
Human Services Technology															1	1	1			
Industrial Mntnc																				
Machinist											1									
Mechanical Drafting & Design											1	1	1	1	12		2			
Practical Nursing	20	19	22	18	22	19	21	13	19	17	20	20	23	19	21	22	21			
p-Electrical/Electronics	17	12	15	14	15	12	9	9	11	11	12	12	11	8	12	11	12			
p-Horticulture	13	12	10	10	13	7	18	14	15	12	12	10	13	10	16	13	11			
p-Mechanical Drafting	12	11	8	14	13	9	15	11	13	10	13	12	12	12	12	12	13			
Welding Technology	12	9	12	10	14	14	11	10	15	14	13	13	16	14	20	19	21			
subtotal	112	105	113	121	131	113	124	85	112	96	107	105	121	102	136	122	134	0	0	0

IAI

Elect (V018)	1																			
Business Computer Pgmn																				
Dual Enrolled	28	18	41	43	36	23	42	39	101	74	71	63	59	52	55	68	40			
Huskins Bill	123	135	141	97	125	99	129	138	208	209	186	179	179	144	162	131	50			
Special Credit	86	121	208	235	181	193	179	185	238	183	182	140	150	129	110	85	80			
subtotal	236	274	390	379	324	305	346	362	545	468	419	382	382	326	327	284	189	0	0	0

*1/26/97 1/27/98 0/26/98 1/27/99 0/26/99 1/28/00 2/31/00 1/17/01 3/29/01 1/24/02 9/30/02 1/17/03 9/30/03 1/22/04 3/27/04 1/19/05 3/2/05

L ENROLLMENTS

1259	1317	1528	1481	1433	1392	1374	1379	1702	1600	1684	1714	1703	1653	1661	1573	1450	0	0	0
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BEAUFORT COUNTY COMMUNITY COLLEGE: November, 2005
Trends and Assumptions to Guide Enrollment Projections for the North Carolina Community College System

<u>Trend/Issue</u>	<u>Effect on Community College Enrollment</u>	<u>Assumption Stated</u>
1. Planning is underway to establish an early high school on the BCCC campus. BCCC service-area high school graduation rates are projected to increase: 2006 – 5% 2007 – 4% 2008 – 2% 2009 – 0% 2010 – 1%	Increase.	Overall enrollment in BCCC College Transfer will reflect area high school graduation rates. High school graduates may not be able to enter 4-year institution due to costs and overcrowding. BCCC will experience at least a short-term increase in the curriculum program area.
2. Population of individuals 55 and over in the BCCC service area is projected to increase at least by 10% by the year 2010.	Increase.	Demand for BCCC Continuing Education classes and courses (and facility expansion) for adults over 55 will occur. Increased offerings for early retirees and senior citizens will be needed and/or required.
3. Unemployment in BCCC service area is and will remain higher than the State average. Service-area per capita income will continue to be lower than the State. Poverty rate is expected to remain above the 20% level.	Traditionally enrollment increases when unemployment is high.	Service-area economy will fluctuate. Service area job losses will slow down with aggressive business and industry recruiting continuing. Demand for business and industry training and retraining will remain steady. There will be greater emphasis on job placement and co-op programs and continuing importance on partnerships and collaborations. Low per capita income raises affordability issues and will increase the need for local aid and scholarships.
4. Hispanic population is projected to grow at least by 20% by 2010.	Increase.	Hispanic population will seek out the community college for classes and programs to ease their transition into the service-area community. Increase in number of ESL classes/Basic Skills and the Spanish Facilitator Program is expected. Use of the Learning Resources Center will increase.
5. The demand for qualified health care professionals will continue to increase dramatically .	Increase.	BCCC will continue to respond to the community requests and needs for more training programs in the health care profession/s. Facility renovations are underway for the anticipated expansion of the ADN and LPN programs; the ADN program will expand by 43% and the LPN program will expand by 33% next year.